

WHY HAVE I RECEIVED THIS NOTICE AND WHEN IS ANY RESPONSE DUE?

1. There is a VCAT proceeding about a planning permit application or application to amend a planning permit. Information about that application and the proceeding is set out below.
2. VCAT's reference number for the proceeding is:
3. The applicant wants to amend its application, as described below.
4. You are a person who VCAT requires be given notice the proposed amendment. Information about what you need to do to respond to this notice is set out below.
5. If you want to respond to this notice, VCAT must receive your statement of grounds by the following date:

ABOUT THE APPLICATION

6. Land to which the application relates:

Street address

Suburb/Town

State

VIC

Postcode

7. Name of applicant:

8. How to contact the applicant:

Email

Phone

9. Name of responsible authority:

10. Permit / permit application number:

11. Brief description of the proposal:

DETAILS OF PROPOSED AMENDMENT TO APPLICATION

12. The proposed amendments are to the:

application plans

proposed use, development or other reason for which a permit is required

other, applicant to specify:

INFORMATION ABOUT THIS VCAT PROCEEDING

13. Date/s of hearing:

14. Date of compulsory conference (if any):

15. Date/s of practice day or preliminary hearing (if any):

16. The type of proceeding is:

- Review of refusal to grant a permit (section 77 of the Planning and Environment Act 1987)
- Review of failure to grant a permit (section 79 of the Planning and Environment Act 1987)
- Review of condition/s in a permit (section 80 of the Planning and Environment Act 1987)
- Review of decision to grant a permit (section 82 of the Planning and Environment Act 1987)
- Amendment of a permit issued at the direction of Tribunal (section 87A of the Planning and Environment Act 1987)

WHAT YOU HAVE TO DO TO RESPOND TO THIS NOTICE

17. If you are already a party to the VCAT proceeding you may:

- (a) do nothing, and continue to rely on the statement of grounds that you have already filed with the Tribunal;
- (b) amend your statement of grounds by the date in paragraph 5 of this notice;
- (c) object to the request for the amendment to the permit application, explaining the reasons for your objection by the date in paragraph 5 of this notice.

18. If you are not already a party to the VCAT proceeding, you may:

- (a) if you do not want to be involved in the proceeding – do nothing;
- (b) if you want to become a party to the proceeding –
 - i. lodge a statement of grounds with VCAT by the date in paragraph 5 of this notice using the statement of grounds form available from the VCAT website;
 - ii. tick the box in the statement of grounds form indicating that you intend to appear and present a submission at the hearing;
 - iii. pay the relevant fee; and
 - iv. give a copy of the statement of grounds to the applicant and the responsible authority by the date in paragraph 5 of this notice.
- (c) if you do not want to become a party to the proceeding, but would like to provide a statement of grounds for the Tribunal's consideration:
 - i. lodge a statement of grounds with VCAT by the date in paragraph 5 of this notice using the statement of grounds form available from the VCAT website;
 - ii. tick the box in the statement of grounds form indicating that you do not intend to appear and present a submission at the hearing;
 - iii. give a copy of the statement of grounds to the applicant and the responsible authority by the date in paragraph 5 of this notice.

Note: If you choose this option (c), you will not be a party to the proceeding. This means that you will not receive any further correspondence from VCAT about the proceeding and will not be able to participate in any compulsory conference or be heard at the hearing.

CONTACTING VCAT

You can lodge your statement of grounds by email, post or in person using the details below.

If you have any questions, you can also contact VCAT using the details below or look at the information on the VCAT website.

Please quote VCAT's reference number in any communication with VCAT and give a copy of any correspondence to all other parties at the same time.

Victorian Civil and Administrative Tribunal (VCAT)

55 King Street Melbourne VIC 3000
GPO Box 5408 Melbourne VIC 3001
Ausdoc DX 210576 Melbourne

Website www.vcat.vic.gov.au
Email admin@vcat.vic.gov.au

Phone 1300 01 8228

8579P

25 February 2022

Victorian Administrative Tribunal
55 King Street
MELBOURNE VIC 3000

Dear Registrar and Parties,

Letter A

Re: VCAT Ref: P994/2021
Planning Application Number: P/2020/6237
2-8 ST ELMO AVENUE, Ferntree Gully

Amended Plans to VCAT Review

We write to you as a party listed to this VCAT Review to advise you that changes have been made to the plans to the development proposal that were considered by Council when it determined to refuse the permit application.

Attached Material

We enclose the following items:

- Set of Amended Plans
- VCAT Form A (PNPE9) Notice of Amendment of Application

Statement of Changes to Plans

The proposed amendments are aimed at addressing concerns expressed by the Responsible Authority and objectors.

The changes undertaken to the plans include:

CHANGE No.	DESCRIPTION	DRAWING No.
1	Note added: 'VCAT amending plans.'	All sheets
2	Note added: 'All structures (including fences, letterboxes, landscaping and meter boxes) must be constructed to a maximum height of 900mm or relocated clear of a splayed area near the access way to ensure safe sight distances.' Letterboxes must front the street.'	TP03, TP04, TP13
3	Notes referencing water tanks deleted.	TP03, TP04

4	Gable roof heights reduced to match overall height of remainder of building.	TP07, TP08, TP09, TP11, TP12, TP13, TP14
5	Note added: 'The recently installed NBN double pit located in the nature strip must not be impacted by the new crossover.'	TP03, TP04
6	Note added: 'Carefully remove & relocate tree no. 13 to the rear of the site.'	TP02, TP03
7	Note added: 'The Redundant crossovers must be removed and the kerb and channel and nature strip reinstated to Council standards.'	TP03, TP04
8	Southern crossover modified to be at a right angle to St Elmo Ave.	TP03, TP04, TP05
9	Note added: 'Only vehicles with a maximum length of 7.2 metres or less are permitted to access the site.'	T003, TP04
10	Deletion of proposed footpath on nature strip & connections to nearest existing footpaths.	T003, TP04
11	Note added: 'Any new fencing/gates must be of an open style of construction (minimum 50% open) to allow for the passage of overland flows.'	TP03, TP04, TP07, TP08, TP09
12	Note added: 'Highlight glazing above the First Floor dining rooms to maximise daylight amenity.'	TP07, TP08
13	Note added: 'Double glazing for all external windows.'	TP03, TP04, TP05, TP07, TP08, TP09
14	Note added: '3x bike racks (min).'	TP03, TP04

15	New trees with larger canopies added to western boundary for screening purposes. Trees are located adjacent to the private open spaces of neighbouring dwellings. The ground floor, first floor & elevations have been modified to accommodate the new tree canopies. The first floor balcony facing the neighbouring dwelling has been deleted. Building set back dimensions & shadow diagrams have been updated. Refer landscape plans for tree details.	TP03, TP04, TP05, TP06, TP08, TP09, TP11, TP12, TP14
16	Structural columns added on the first floor to support balcony roofs located at external corners of the building.	TP05, TP07, TP08, TP09

Substitution of Plans

We advise that at the hearing of the appeal, by VCAT commencing on 11th April 2022 at 10am, an application will be made to substitute the revised development plans for the plans that were originally lodged with Council.

Statement of Grounds

You have the opportunity to rely on your current statement of grounds or provide additional statement of grounds to VCAT with copy to ourselves and Council. Your additional statement should be received by VCAT, ourselves and Council by 21st March 2022. You can obtain a new statement of grounds form via VCAT's website.

Should you have any queries, please do not hesitate to contact undersigned.

Yours faithfully
for FASTNET CONSULTING



PLANNER

Cc: VCAT
Knox City Council - office@planology.com.au
Melbourne Water - mw.vcatadmin@melbournewater.com.au
Country Fire Authority - lupvcat@cfa.vic.gov.au

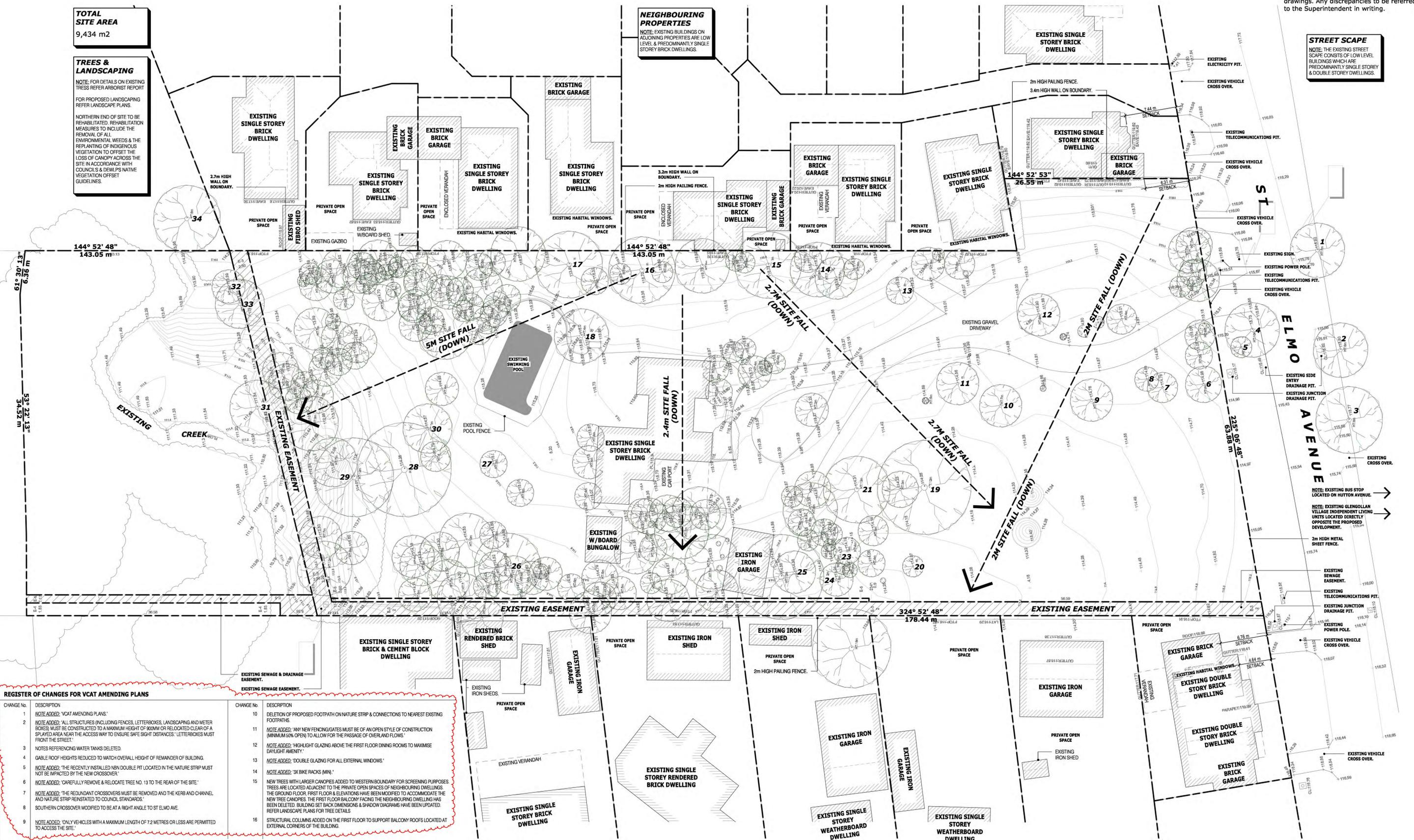


TOTAL SITE AREA
9,434 m²

TREES & LANDSCAPING
NOTE: FOR DETAILS ON EXISTING TREES REFER ARBORIST REPORT FOR PROPOSED LANDSCAPING REFER LANDSCAPE PLANS.
NORTHERN END OF SITE TO BE REHABILITATED. REHABILITATION MEASURES TO INCLUDE THE REMOVAL OF ALL ENVIRONMENTAL WEEDS & THE REPLANTING OF INDIGENOUS VEGETATION TO OFFSET THE LOSS OF CANOPY ACROSS THE SITE IN ACCORDANCE WITH COUNCIL'S & DEWLP'S NATIVE VEGETATION OFFSET GUIDELINES.

NEIGHBOURING PROPERTIES
NOTE: EXISTING BUILDINGS ON ADJOINING PROPERTIES ARE LOW LEVEL & PREDOMINANTLY SINGLE STOREY BRICK DWELLINGS.

STREET SCOPE
NOTE: THE EXISTING STREET SCOPE CONSISTS OF LOW LEVEL BUILDINGS WHICH ARE PREDOMINANTLY SINGLE STOREY & DOUBLE STOREY DWELLINGS.



REGISTER OF CHANGES FOR VCAT AMENDING PLANS

CHANGE NO.	DESCRIPTION	CHANGE NO.	DESCRIPTION
1	NOTE ADDED: "VCAT AMENDING PLANS."	10	DELETION OF PROPOSED FOOTPATH ON NATURE STRIP & CONNECTIONS TO NEAREST EXISTING FOOTPATHS.
2	NOTE ADDED: "ALL STRUCTURES (INCLUDING FENCES, LETTERBOXES, LANDSCAPING AND METER BOXES) MUST BE CONSTRUCTED TO A MAXIMUM HEIGHT OF 900MM OR RELOCATED CLEAR OF A SPRAWLED AREA NEAR THE ACCESS WAY TO ENSURE SAFE SIGHT DISTANCES." LETTERBOXES MUST FRONT THE STREET.	11	NOTE ADDED: "ANY NEW FENCING/GATES MUST BE OF AN OPEN STYLE OF CONSTRUCTION (MINIMUM 50% OPEN) TO ALLOW FOR THE PASSAGE OF OVERLAND FLOWS."
3	NOTES REFERENCING WATER TANKS DELETED.	12	NOTE ADDED: "HIGHLIGHT GLAZING ABOVE THE FIRST FLOOR DINING ROOMS TO MAXIMISE DAYLIGHT AMENITY."
4	GABLE ROOF HEIGHTS REDUCED TO MATCH OVERALL HEIGHT OF REMAINDER OF BUILDING.	13	NOTE ADDED: "DOUBLE GLAZING FOR ALL EXTERNAL WINDOWS."
5	NOTE ADDED: "THE RECENTLY INSTALLED NBN DOUBLE PIT LOCATED IN THE NATURE STRIP MUST NOT BE IMPACTED BY THE NEW CROSSOVER."	14	NOTE ADDED: "3X BIKE RACKS (MIN)."
6	NOTE ADDED: "CAREFULLY REMOVE & RELOCATE TREE NO. 13 TO THE REAR OF THE SITE."	15	NEW TREES WITH LARGER CANOPIES ADDED TO WESTERN BOUNDARY FOR SCREENING PURPOSES. TREES ARE LOCATED ADJACENT TO THE PRIVATE OPEN SPACES OF NEIGHBOURING DWELLINGS. THE GROUND FLOOR, FIRST FLOOR & ELEVATIONS HAVE BEEN MODIFIED TO ACCOMMODATE THE NEW TREE CANOPIES. THE FIRST FLOOR BALCONY FACING THE NEIGHBOURING DWELLING HAS BEEN DELETED. BUILDING SET BACK DIMENSIONS & SHADOW DIAGRAMS HAVE BEEN UPDATED. REFER LANDSCAPE PLANS FOR TREE DETAILS.
7	NOTE ADDED: "THE REDUNDANT CROSSOVERS MUST BE REMOVED AND THE KERB AND CHANNEL AND NATURE STRIP REINSTATED TO COUNCIL STANDARDS."	16	STRUCTURAL COLUMNS ADDED ON THE FIRST FLOOR TO SUPPORT BALCONY ROOFS LOCATED AT EXTERNAL CORNERS OF THE BUILDING.
8	SOUTHERN CROSSOVER MODIFIED TO BE AT A RIGHT ANGLE TO ST ELMO AVE.		
9	NOTE ADDED: "ONLY VEHICLES WITH A MAXIMUM LENGTH OF 7.2 METRES OR LESS ARE PERMITTED TO ACCESS THE SITE."		

EXISTING SITE & CONTEXT PLAN
SCALE 1 : 250

TOWN PLANNING SHEETS		TOWN PLANNING SHEETS	
TP01	EXISTING SITE & CONTEXT PLAN	TP08	SOUTH AND WEST ELEVATIONS
TP02	DEMOLITION SITE PLAN	TP09	3D PERSPECTIVES
TP03	PROPOSED SITE PLAN & DESIGN RESPONSE	TP10	3D PERSPECTIVES
TP04	PROPOSED GROUND FLOOR PLAN	TP11	SECTIONS
TP05	PROPOSED FIRST FLOOR PLAN	TP12	SECTIONS
TP06	PROPOSED ROOF PLAN	TP13	SECTIONS
TP07	NORTH AND EAST ELEVATIONS	TP14	SHADOW DIAGRAMS - SEPTEMBER 22nd

Client
GLENGOLLAN VILLAGE connect

Project Manager

Architect
BHA
Baade Harbour Australia Pty. Ltd.
Geelong
63a Little Malop Street, Geelong, Victoria 3209 Australia
Telephone +61 3 5222 6228
bhag@bhausa.com.au

DATE	REV.	ACTIVITY
09/05/20	0	FINAL TOWN PLANNING ISSUE
20/01/21	1	NOTE ADDED
21/02/22	2	VCAT AMENDING PLANS

Phase	TOWN PLANNING
Project No.	19011

Client	GLENGOLLAN VILLAGE
Project	ST ELMO AVENUE GLENGOLLAN VILLAGE 2-8 St Elmo Ave, Ferntree Gully VIC 3156

Drawing Title	EXISTING SITE & CONTEXT PLAN		
Drawn	Scale	As indicated @ A1	dwg no.
Leader	Date	21/02/22	TP01
			rev. 2

Note:
Building Setout to be carried out by a Licensed Surveyor. All dimensions to be verified prior to the order and/or placement of materials, or commencement of shop drawings. Any discrepancies to be referred to the Superintendent in writing.

NOTE: EXISTING BUS STOP LOCATED ON HUTTON AVENUE.
NOTE: EXISTING GLENGOLLAN VILLAGE INDEPENDENT LIVING UNITS LOCATED DIRECTLY OPPOSITE THE PROPOSED DEVELOPMENT.

EXISTING SEWAGE EASEMENT.
EXISTING TELECOMMUNICATIONS PIT.
EXISTING JUNCTION DRAINAGE PIT.
EXISTING POWER POLE.
EXISTING VEHICLE CROSS OVER.

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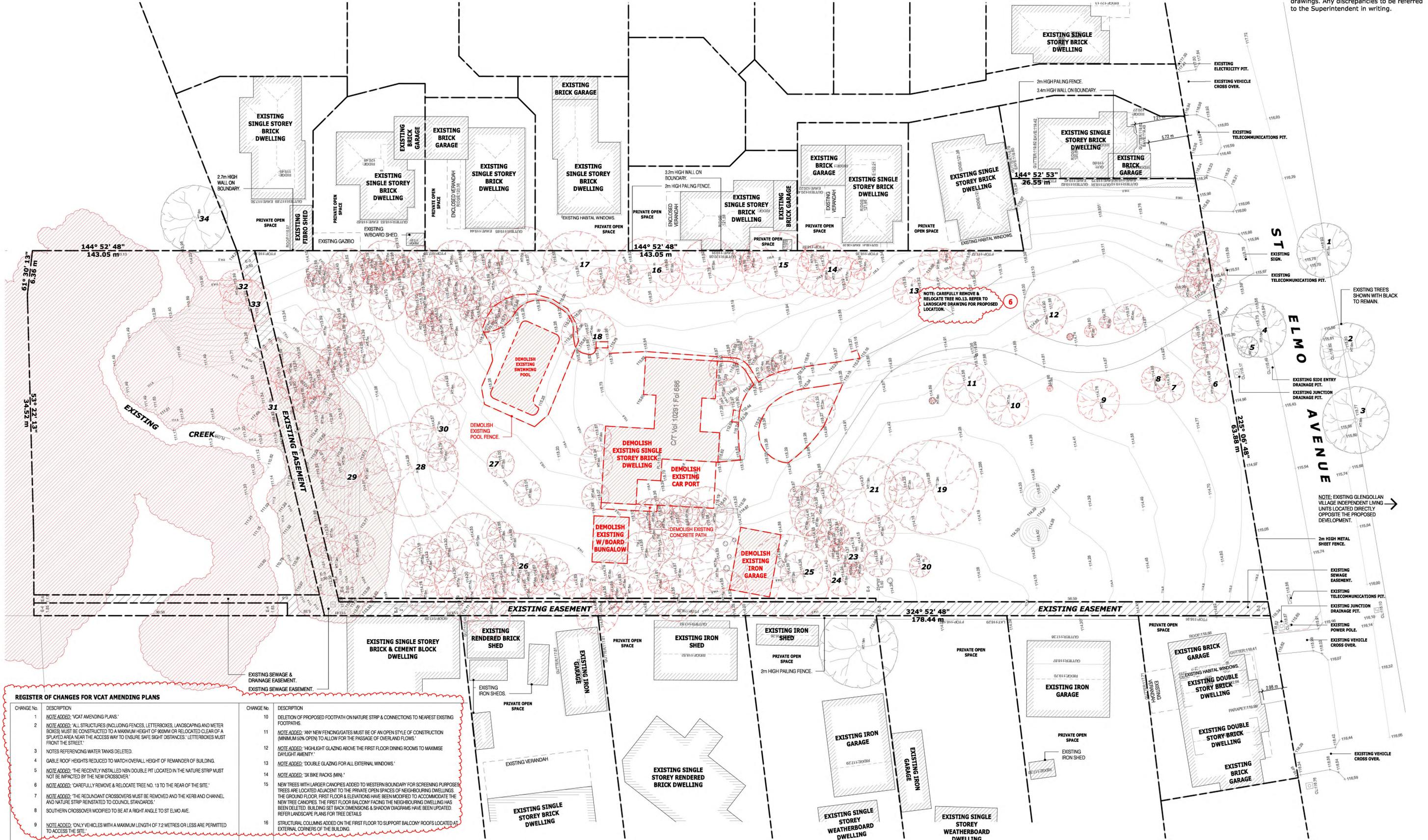
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SITE DEMOLITION PLAN
SCALE 1 : 250

DRAWING LEGEND & TYPICAL NOTES

DOOR NUMBER - REFER TO DOOR SCHEDULE	SECTION VIEW NUMBER	NUMBER OF CURRENT REVISION
WINDOW NUMBER - REFER TO WINDOW SCHEDULE	SHEET REFERENCE NUMBER	BUILDING/CARPARK SETOUT POINT
WALL TYPE - REFER TO WALL TYPE SCHEDULE	FINISHED FLOOR LEVEL	SLAB SETDOWNS
PRECAST PANEL NUMBER	STRUCTURAL FLOOR LEVEL	CHECK ON SITE & REPORT ANY DISCREPANCY
	SPOT LEVEL	MATERIAL TAG

Client: **GLENGOLLAN VILLAGE**

Project Manager: **connect**

Architect: **BHA**
Baade Harbour Australia Pty. Ltd.
Geelong
63a Little Havelock Street, Geelong, Victoria 3220 Australia
Telephone: +61 3 5222 6228
bha@connect.com.au

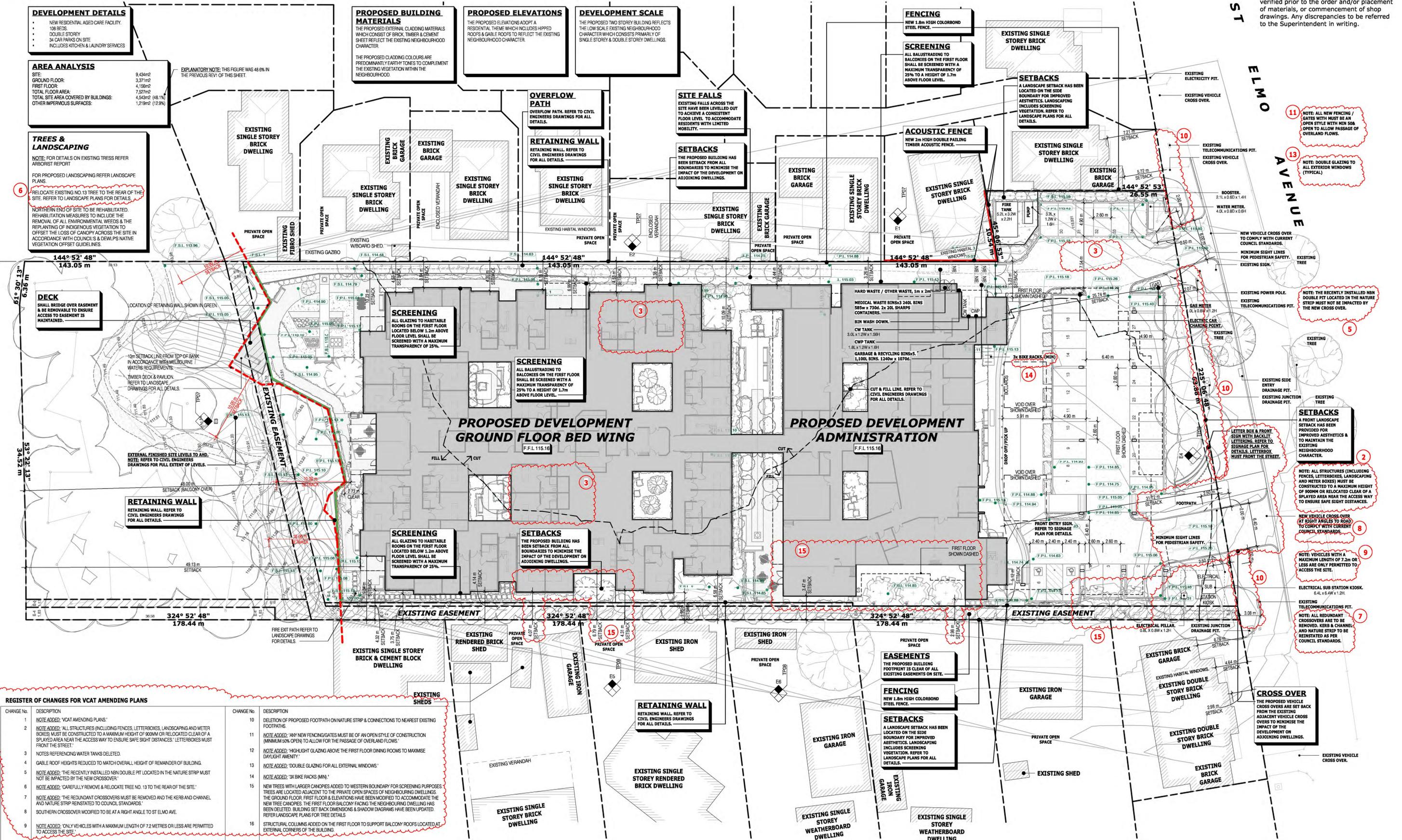
DATE	REV.	ACTIVITY
09/05/20	0	FINAL TOWN PLANNING ISSUE
18/06/20	1	REVISIONS CLOUDED
09/12/21	3	NOTE ADDED
21/02/22	4	VCAT AMENDING PLANS

Phase	TOWN PLANNING
Project No.	19011

Client	GLENGOLLAN VILLAGE
Project	ST ELMO AVENUE GLENGOLLAN VILLAGE
Address	2-8 St Elmo Ave, Ferntree Gully VIC 3156

Drawing Title	DEMOLITION SITE PLAN
Drawn	As indicated @ A1
Scale	TP02
Date	21/02/22
Drawn	TP02
Leader	4

Note:
Building Setout to be carried out by a Licensed Surveyor. All dimensions to be verified prior to the order and/or placement of materials, or commencement of shop drawings. Any discrepancies to be referred to the Superintendent in writing.



REGISTER OF CHANGES FOR VCAT AMENDING PLANS

CHANGE No.	DESCRIPTION	CHANGE No.	DESCRIPTION
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9	NOTE ADDED: 'ONLY VEHICLES WITH A MAXIMUM LENGTH OF 7.2 METRES OR LESS ARE PERMITTED TO ACCESS THE SITE.'		

PROPOSED SITE PLAN & DESIGN RESPONSE
SCALE: 1 : 250

DRAWING LEGEND & TYPICAL NOTES

	DOOR NUMBER - REFER TO DOOR SCHEDULE		SECTION VIEW NUMBER
	WINDOW NUMBER - REFER TO WINDOW SCHEDULE		SECTION MARKER
	WALL TYPE - REFER TO WALL TYPE SCHEDULE		SHEET REFERENCE NUMBER
	PRECAST PANEL NUMBER		FINISHED FLOOR LEVEL
			STRUCTURAL FLOOR LEVEL
			SPOT LEVEL
	NUMBER OF CURRENT REVISION		SETOUT POINT
	BUILDING/CARPARK		SLAB SETDOWNS
	C.O.S. CHECK ON SITE & REPORT ANY DISCREPANCY		MATERIAL TAG

Client: **GLENGOLLAN VILLAGE**
Project Manager: **connect**

Architect: **BHA**
Baade Harbour Australia Pty. Ltd.
Geelong
83a Little Malop Street, Geelong, Victoria 3220 Australia
Telephone: +61 3 5222 6228
bhag@bhauc.com.au

DATE	REV.	ACTIVITY
09/05/20	0	FINAL TOWN PLANNING ISSUE
19/09/20	1	REVISIONS CLOUDED
14/09/20	2	REVISIONS CLOUDED
18/10/20	3	REVISIONS CLOUDED
9/12/21	4	BUILDING FOOTPRINT ALTERED, SCREENING TREES ADDED, NOTE ADDED
21/02/22	5	VCAT AMENDING PLANS

Phase: **TOWN PLANNING**
Project No.: **19011**

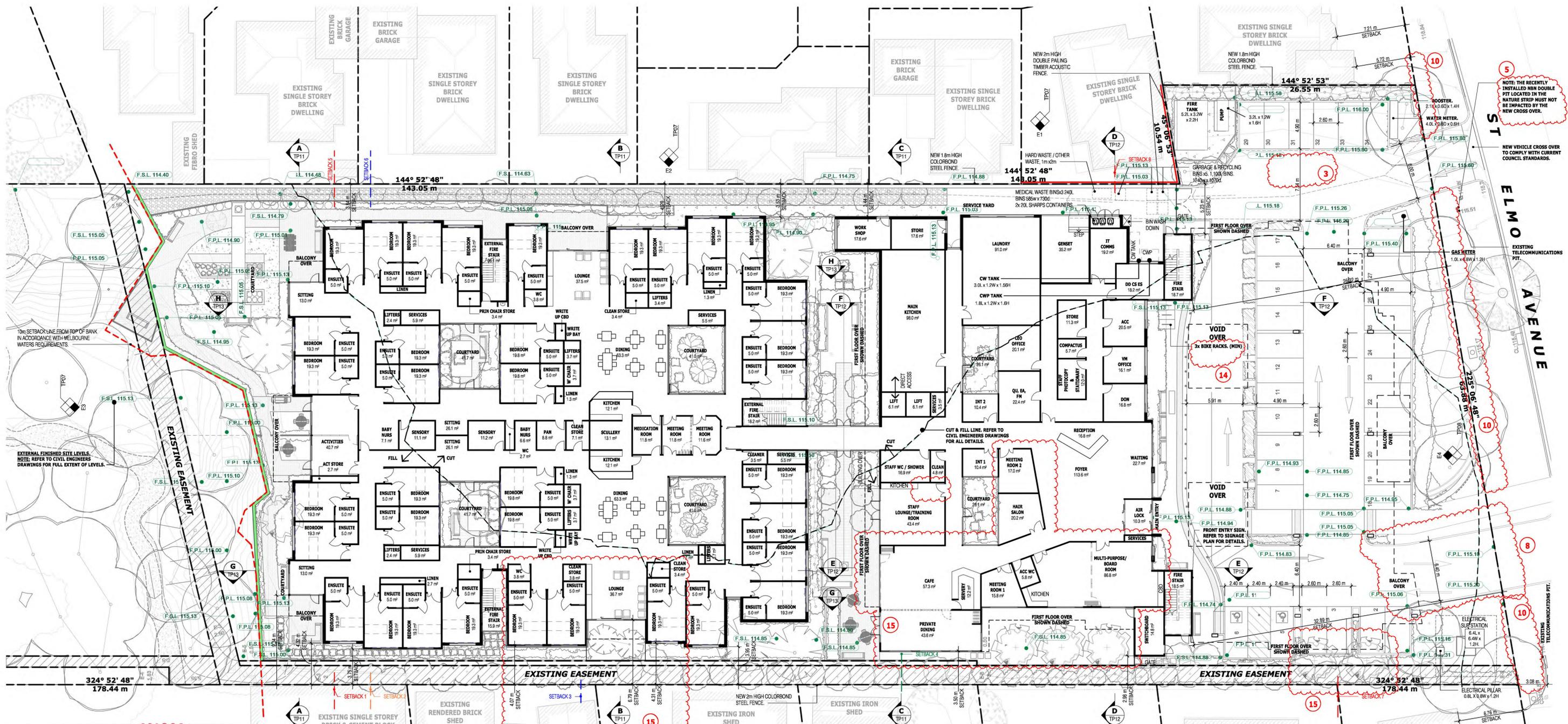
Client: **GLENGOLLAN VILLAGE**
Project: **ST ELMO AVENUE GLENGOLLAN VILLAGE**
2-8 St Elmo Ave, Ferntree Gully VIC 3156

Drawing Title: **PROPOSED SITE PLAN & DESIGN RESPONSE**

Drawn: [Signature] Scale: **As indicated @ A1** dwg no.: **TP03** rev.: **5**
Date: **21/02/22**



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PROPOSED GROUND FLOOR PLAN
SCALE 1 : 200

DRAWING LEGEND & TYPICAL NOTES	
DOOR NUMBER - REFER TO DOOR SCHEDULE	SECTION VIEW NUMBER SECTION MARKER SHEET REFERENCE NUMBER
WINDOW NUMBER - REFER TO WINDOW SCHEDULE	FINISHED FLOOR LEVEL
WALL TYPE - REFER TO WALL TYPE SCHEDULE	STRUCTURAL FLOOR LEVEL
PRECAST PANEL NUMBER	SPOT LEVEL
NUMBER OF CURRENT REVISION BUILDING/CARPARK SETOUT POINT	SLAB SETDOWNS
C.O.S. CHECK ON SITE & REPORT ANY DISCREPANCY	MATERIAL TAG

Client: **GLENGOLLAN VILLAGE**
Project Manager: **connect**
Architect: **BHA** Baade Harbour Australia Pty. Ltd.
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bhag@bhauc.com.au

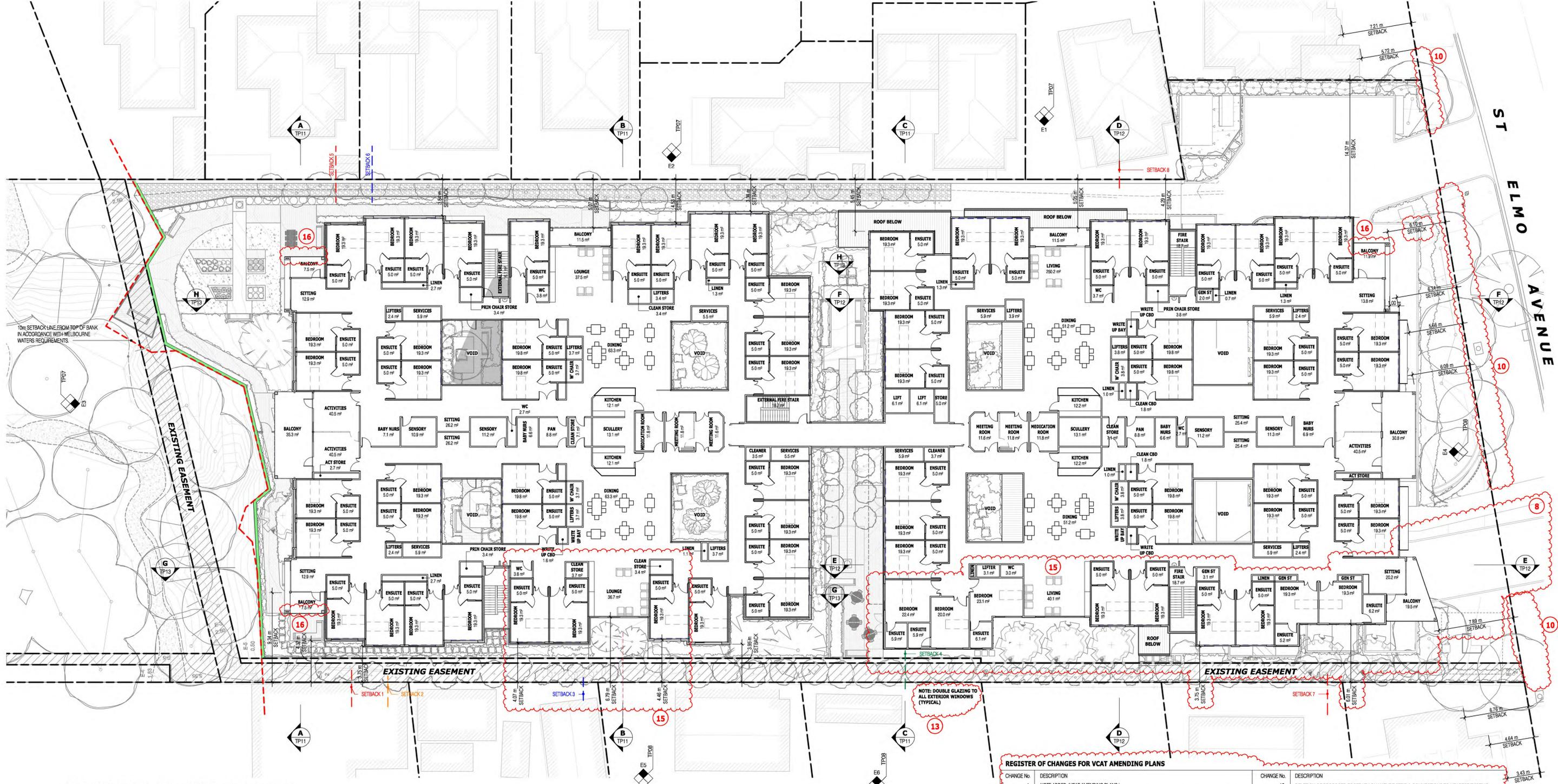
DATE	REV.	ACTIVITY
09/05/20	0	FINAL TOWN PLANNING ISSUE
19/09/20	1	REVISIONS CLOUDED
14/09/20	2	REVISIONS CLOUDED
18/12/20	3	REVISIONS CLOUDED
8/12/21	4	LAYOUT ALTERED, BALCONY AND EXTERNAL PAVING REMOVED, SCREENING TREES ADDED, NOTE ADDED
11/02/22	5	VCAT AMENDING PLANS
21/02/22	6	VCAT AMENDING PLANS

Phase: TOWN PLANNING	Client: GLENGOLLAN VILLAGE
Project No. 19011	Project: ST ELMO AVENUE GLENGOLLAN VILLAGE
	Address: 2-8 St Elmo Ave, Ferntree Gully VIC 3156

Drawing Title: PROPOSED GROUND FLOOR PLAN	Scale: As indicated @ A1	dwg no.: TP04	rev.: 6
Drawn: [Signature]	Date: 21/02/22		
Leader: [Signature]			

- NOTE: ALL NEW FENCING / GATES MUST BE AN OPEN STYLE WITH MIN 50% OPEN TO ALLOW PASSAGE OF OVERLAND FLOWS.
- NOTE: ALL STRUCTURES (INCLUDING FENCES, LETTERBOXES, LANDSCAPING AND METER BOXES) MUST BE CONSTRUCTED TO A MAXIMUM HEIGHT OF 900MM OR RELOCATED CLEAR OF A SPRAWLED AREA NEAR THE ACCESS WAY TO ENSURE SAFE SIGHT DISTANCES.
- NOTE: ALL REDUNDANT CROSSOVERS ARE TO BE REMOVED. KERB & CHANNEL AND NATURE STRIP TO BE REINSTATED AS PER COUNCIL STANDARDS.
- NOTE: DOUBLE GLAZING TO ALL EXTERIOR WINDOWS (TYPICAL).
- NEW VEHICLE CROSS OVER TO COMPLY WITH CURRENT COUNCIL STANDARDS. VEHICLES WITH A MAXIMUM LENGTH OF 7.2M OR LESS ARE PERMITTED TO ENTER THE SITE.
- NEW VEHICLE CROSS OVER AT RIGHT ANGLES TO ROAD TO COMPLY WITH CURRENT COUNCIL STANDARDS.
- NOTE: ALL NEW FENCING / GATES MUST BE AN OPEN STYLE WITH MIN 50% OPEN TO ALLOW PASSAGE OF OVERLAND FLOWS.
- NOTE: ALL STRUCTURES (INCLUDING FENCES, LETTERBOXES, LANDSCAPING AND METER BOXES) MUST BE CONSTRUCTED TO A MAXIMUM HEIGHT OF 900MM OR RELOCATED CLEAR OF A SPRAWLED AREA NEAR THE ACCESS WAY TO ENSURE SAFE SIGHT DISTANCES.
- NOTE: ALL REDUNDANT CROSSOVERS ARE TO BE REMOVED. KERB & CHANNEL AND NATURE STRIP TO BE REINSTATED AS PER COUNCIL STANDARDS.

Note:
Building Setout to be carried out by a Licensed Surveyor. All dimensions to be verified prior to the order and/or placement of materials, or commencement of shop drawings. Any discrepancies to be referred to the Superintendent in writing.



PROPOSED FIRST FLOOR PLAN

SCALE 1 : 200

REGISTER OF CHANGES FOR VCAT AMENDING PLANS

CHANGE NO.	DESCRIPTION	CHANGE NO.	DESCRIPTION
1	NOTE ADDED: 'VCAT AMENDING PLANS'	10	DELETION OF PROPOSED FOOTPATH ON NATURE STRIP & CONNECTIONS TO NEAREST EXISTING FOOTPATHS.
2	NOTE ADDED: 'ALL STRUCTURES (INCLUDING FENCES, LETTERBOXES, LANDSCAPING AND METER BOXES) MUST BE CONSTRUCTED TO A MAXIMUM HEIGHT OF 900MM OR RELOCATED CLEAR OF A PLAYED AREA NEAR THE ACCESS WAY TO ENSURE SAFE SIGHT DISTANCES. LETTERBOXES MUST FRONT THE STREET.'	11	NOTE ADDED: 'ANY NEW FENCING/GATES MUST BE OF AN OPEN STYLE OF CONSTRUCTION (MINIMUM 50% OPEN) TO ALLOW FOR THE PASSAGE OF OVERLAND FLOWS.'
3	NOTES REFERENCING WATER TANKS DELETED.	12	NOTE ADDED: 'HIGHLIGHT GLAZING ABOVE THE FIRST FLOOR DINING ROOMS TO MAXIMISE DAYLIGHT AMENITY.'
4	GABLE ROOF HEIGHTS REDUCED TO MATCH OVERALL HEIGHT OF REMAINDER OF BUILDING.	13	NOTE ADDED: 'DOUBLE GLAZING FOR ALL EXTERNAL WINDOWS.'
5	NOTE ADDED: 'THE RECENTLY INSTALLED NBN DOUBLE PIT LOCATED IN THE NATURE STRIP MUST NOT BE IMPACTED BY THE NEW CROSSOVER.'	14	NOTE ADDED: '3X BIKE RACKS MIN.'
6	NOTE ADDED: 'CAREFULLY REMOVE & RELOCATE TREE NO. 13 TO THE REAR OF THE SITE.'	15	NEW TREES WITH LARGER CANOPIES ADDED TO WESTERN BOUNDARY FOR SCREENING PURPOSES. TREES ARE LOCATED ADJACENT TO THE PRIVATE OPEN SPACES OF NEIGHBOURING DWELLINGS. THE GROUND FLOOR, FIRST FLOOR & ELEVATIONS HAVE BEEN MODIFIED TO ACCOMMODATE THE NEW TREES CANOPIES. THE FIRST FLOOR BALCONY FACING THE NEIGHBOURING DWELLING HAS BEEN DELETED. BUILDING SET BACK DIMENSIONS & SHADOW DIAGRAMS HAVE BEEN UPDATED. REFER LANDSCAPE PLANS FOR TREE DETAILS.
7	NOTE ADDED: 'THE REDUNDANT CROSSOVERS MUST BE REMOVED AND THE KERB AND CHANNEL AND NATURE STRIP REINSTATED TO COUNCIL STANDARDS.'	16	STRUCTURAL COLUMNS ADDED ON THE FIRST FLOOR TO SUPPORT BALCONY ROOFS LOCATED AT EXTERNAL CORNERS OF THE BUILDING.
8	SOUTHERN CROSSOVER MODIFIED TO BE AT A RIGHT ANGLE TO ST ELMO AVE.		
9	NOTE ADDED: 'ONLY VEHICLES WITH A MAXIMUM LENGTH OF 7.2 METRES OR LESS ARE PERMITTED TO ACCESS THE SITE.'		

DRAWING LEGEND & TYPICAL NOTES

- DOOR NUMBER - REFER TO DOOR SCHEDULE
- WINDOW NUMBER - REFER TO WINDOW SCHEDULE
- WALL TYPE - REFER TO WALL TYPE SCHEDULE
- PRECAST PANEL NUMBER
- SECTION VIEW NUMBER
- SECTION MARKER
- FINISHED FLOOR LEVEL
- STRUCTURAL FLOOR LEVEL
- SPOT LEVEL
- NUMBER OF CURRENT REVISION
- BUILDING/CARPARK SETOUT POINT
- SLAB SETDOWNS
- CHECK ON SITE & REPORT ANY DISCREPANCY
- MATERIAL TAG

Client
GLENGOLLAN VILLAGE

Project Manager
connect

Architect
BHA
Baade Harbour Australia Pty. Ltd.
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63a Little Havelock Street, Geelong,
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bhagov@baade.com.au

DATE	REV.	ACTIVITY
09/05/20	0	FINAL TOWN PLANNING ISSUE
19/09/20	1	REVISIONS CLOUDED
14/09/20	2	REVISIONS CLOUDED
18/10/20	3	REVISIONS CLOUDED
09/12/21	4	LAYOUT ALTERED, BALCONY AND EXTERNAL PAVING ALTERED/REMOVED. SCREENING TREES ADDED. NOTE ADDED
11/02/22	5	VCAT AMENDING PLANS
21/02/22	6	VCAT AMENDING PLANS

Phase
TOWN PLANNING

Project No.
19011

Client
GLENGOLLAN VILLAGE

Project
ST ELMO AVENUE GLENGOLLAN VILLAGE
2-8 St Elmo Ave, Ferntree Gully VIC 3156

Drawing Title
PROPOSED FIRST FLOOR PLAN

Drawn
TP05

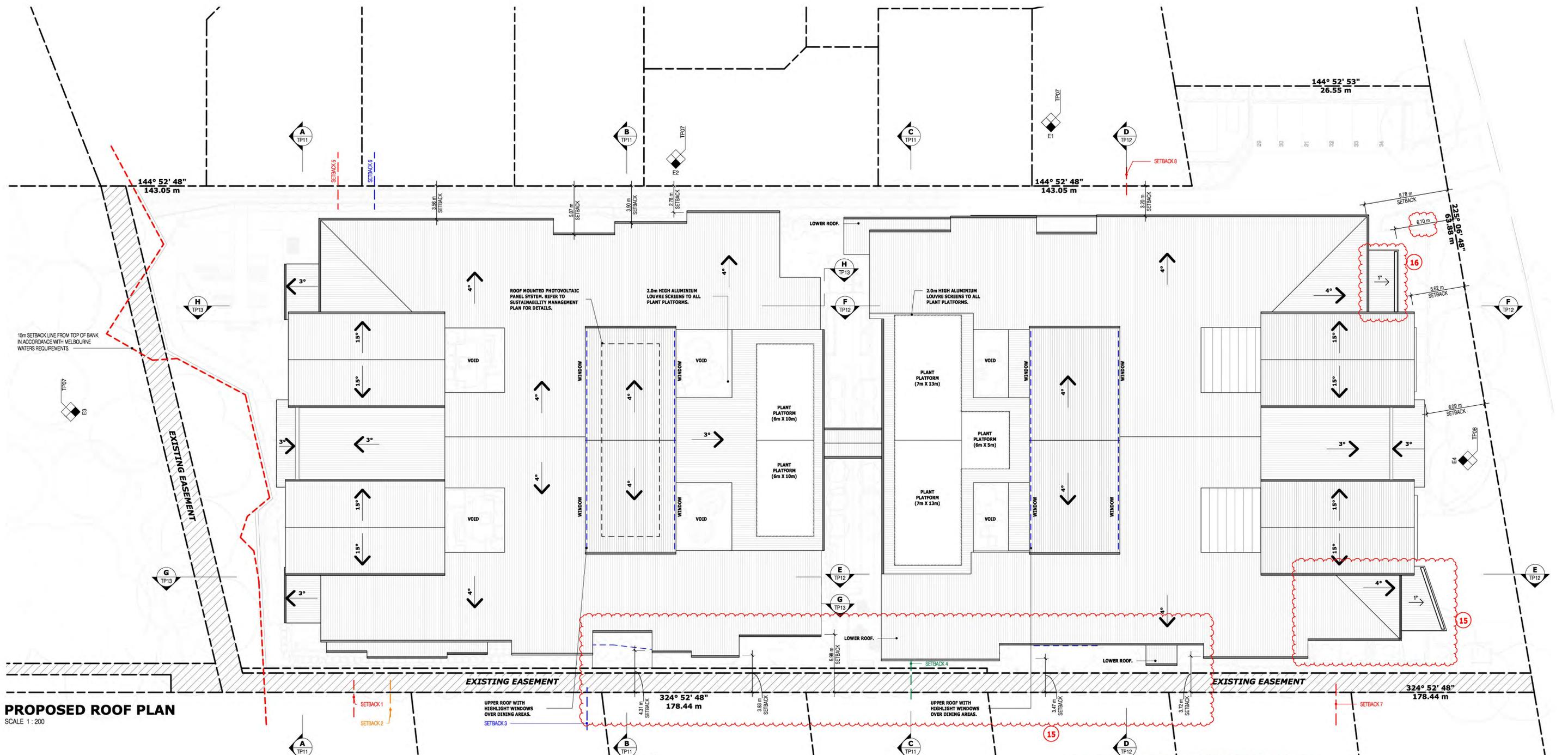
Scale
As indicated @ A1

Date
21/02/22

rev. no.
6



Note:
Building Setout to be carried out by a Licensed Surveyor. All dimensions to be verified prior to the order and/or placement of materials, or commencement of shop drawings. Any discrepancies to be referred to the Superintendent in writing.



PROPOSED ROOF PLAN
SCALE 1 : 200

REGISTER OF CHANGES FOR VCAT AMENDING PLANS	
CHANGE No.	DESCRIPTION
1	NOTE ADDED: "VCAT AMENDING PLANS."
2	NOTE ADDED: "ALL STRUCTURES (INCLUDING FENCES, LETTERBOXES, LANDSCAPING AND METER BOXES) MUST BE CONSTRUCTED TO A MAXIMUM HEIGHT OF 900MM OR RELOCATED CLEAR OF A SPALLIED AREA NEAR THE ACCESS WAY TO ENSURE SAFE SIGHT DISTANCES. LETTERBOXES MUST FRONT THE STREET."
3	NOTES REFERENCING WATER TANKS DELETED.
4	GABLE ROOF HEIGHTS REDUCED TO MATCH OVERALL HEIGHT OF REMAINDER OF BUILDING.
5	NOTE ADDED: "THE RECENTLY INSTALLED NEW DOUBLE PIT LOCATED IN THE NATURE STRIP MUST NOT BE IMPACTED BY THE NEW CROSSOVER."
6	NOTE ADDED: "CAREFULLY REMOVE & RELOCATE TREE NO. 13 TO THE REAR OF THE SITE."
7	NOTE ADDED: "THE REDUNDANT CROSSOVERS MUST BE REMOVED AND THE KERB AND CHANNEL AND NATURE STRIP REINSTATED TO COUNCIL STANDARDS."
8	SOUTHERN CROSSOVER MODIFIED TO BE AT A RIGHT ANGLE TO ST ELMO AVE.
9	NOTE ADDED: "ONLY VEHICLES WITH A MAXIMUM LENGTH OF 7.2 METRES OR LESS ARE PERMITTED TO ACCESS THE SITE."
10	DELETION OF PROPOSED FOOTPATH ON NATURE STRIP & CONNECTIONS TO NEAREST EXISTING FOOTPATHS.
11	NOTE ADDED: "ANY NEW FENCING/GATES MUST BE OF AN OPEN STYLE OF CONSTRUCTION (MINIMUM 50% OPEN) TO ALLOW FOR THE PASSAGE OF OVERLAND FLOWS."
12	NOTE ADDED: "HIGHLIGHT GLAZING ABOVE THE FIRST FLOOR DINING ROOMS TO MAXIMISE DAYLIGHT AMENITY."
13	NOTE ADDED: "DOUBLE GLAZING FOR ALL EXTERNAL WINDOWS."
14	NOTE ADDED: "3X BIKE RACKS (MIN)."
15	NEW TREES WITH LARGER CANOPIES ADDED TO WESTERN BOUNDARY FOR SCREENING PURPOSES. TREES ARE LOCATED ADJACENT TO THE PRIVATE OPEN SPACES OF NEIGHBOURING DWELLINGS. THE GROUND FLOOR, FIRST FLOOR & ELEVATIONS HAVE BEEN MODIFIED TO ACCOMMODATE THE NEW TREE CANOPIES. THE FIRST FLOOR BALCONY FACING THE NEIGHBOURING DWELLING HAS BEEN DELETED. BUILDING SET BACK DIMENSIONS & SHADOW DIAGRAMS HAVE BEEN UPDATED. REFER LANDSCAPE PLANS FOR TREE DETAILS.
16	STRUCTURAL COLUMNS ADDED ON THE FIRST FLOOR TO SUPPORT BALCONY ROOFS LOCATED AT EXTERNAL CORNERS OF THE BUILDING.

DRAWING LEGEND & TYPICAL NOTES

- DOOR NUMBER - REFER TO DOOR SCHEDULE
- WINDOW NUMBER - REFER TO WINDOW SCHEDULE
- WALL TYPE - REFER TO WALL TYPE SCHEDULE
- PRECAST PANEL NUMBER
- SECTION VIEW NUMBER
- SECTION MARKER
- SHEET REFERENCE NUMBER
- FINISHED FLOOR LEVEL
- STRUCTURAL FLOOR LEVEL
- SPOT LEVEL
- NUMBER OF CURRENT REVISION
- BUILDING/CARPARK SETOUT POINT
- SLAB SETDOWNS
- C.O.S. CHECK ON SITE & REPORT ANY DISCREPANCY
- MATERIAL TAG

Client: **GLENGOLLAN VILLAGE**

Project Manager: **connect**

Architect: **BHA**
Baade Harbour Australia Pty. Ltd.
Geelong
63a Little Malop Street, Geelong, Victoria 3220 Australia
Telephone +61 3 5222 6228
bhageo@bhauc.com.au

DATE	REV.	ACTIVITY
09/05/20	0	FINAL TOWN PLANNING ISSUE
19/09/20	1	REVISIONS CLOUDED
14/09/20	2	REVISIONS CLOUDED
9/12/21	3	ROOF FOOTPRINT ALTERED, NOTE ADDED
21/02/22	4	VCAT AMENDING PLANS

Phase: **TOWN PLANNING**

Project No.: **19011**

Client: **GLENGOLLAN VILLAGE**

Project: **ST ELMO AVENUE GLENGOLLAN VILLAGE**
2-8 St Elmo Ave, Ferntree Gully VIC 3156

Drawing Title: **PROPOSED ROOF PLAN**

Drawn: [Signature]

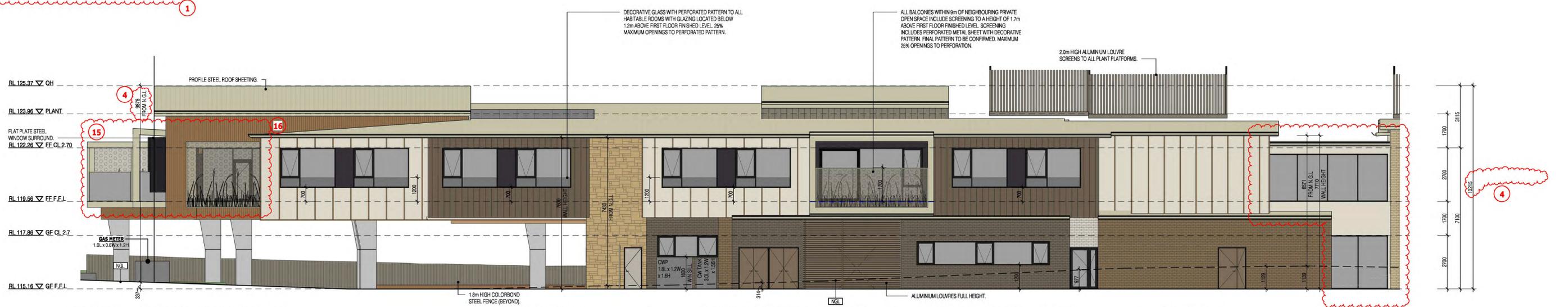
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Date: **21/02/22**

dwg no.: **TP06**

rev.: **4**

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E1 EAST ELEVATION PART 1
SCALE 1:100



E2 EAST ELEVATION PART 2
SCALE 1:100



E3 NORTH ELEVATION
SCALE 1:100

MATERIAL SCHEDULE	
	MASONRY BRICKWORK COLOUR: TAN
	MASONRY BRICKWORK COLOUR: SANDY BEIGE
	MASONRY BRICKWORK COLOUR: BROWN
	MASONRY BRICKWORK COLOUR: DARK BROWN
	MASONRY BRICKWORK COLOUR: WHITE
	MASONRY BRICKWORK COLOUR: CREAM
	STONE CLADDING COLOUR: MIX OF SANDY & BROWN COLOURS
	PREFINISHED TIMBER LOOK CEMENT SHEET CLADDING COLOUR: BROWN
	PREFINISHED TIMBER LOOK ALUMINIUM CLADDING COLOUR: TAN
	PREFINISHED CEMENT SHEET CLADDING COLOUR: BLACK
	PREFINISHED CEMENT SHEET CLADDING COLOUR: BEIGE
	PREFINISHED CEMENT SHEET CLADDING COLOUR: BEIGE
	PREFINISHED STEEL CLADDING COLOUR: BROWN
	ALUMINIUM FRAMING SYSTEM COLOUR: BLACK
	ALUMINIUM FRAMING SYSTEM COLOUR: BLACK
	SCREENING COLOUR: BEIGE
	PERFORATED SCREEN COLOUR: BEIGE

DRAWING LEGEND & TYPICAL NOTES	
	DOOR NUMBER - REFER TO DOOR SCHEDULE
	WINDOW NUMBER - REFER TO WINDOW SCHEDULE
	WALL TYPE - REFER TO WALL TYPE SCHEDULE
	PRECAST PANEL NUMBER
	SECTION VIEW NUMBER SECTION MARKER SHEET REFERENCE NUMBER SETOUT POINT
	FINISHED FLOOR LEVEL
	STRUCTURAL FLOOR LEVEL
	SPOT LEVEL
	NUMBER OF CURRENT REVISION
	BUILDING/CARPAK SETOUT POINT
	SLAB SETDOWNS
	CHECK ON SITE & REPORT ANY DISCREPANCY
	MATERIAL TAG

Client: **GLENGOLLAN VILLAGE**

Project Manager: **connect**

Architect: **BHA**
Baade Harbour Australia Pty. Ltd.
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63a Little Malop Street, Geelong, Victoria 3220 Australia
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bhagee@bhausa.com.au

DATE	REV.	ACTIVITY
09/05/20	0	FINAL TOWN PLANNING ISSUE
14/09/20	1	REVISIONS CLOUDED
14/09/20	2	REVISIONS CLOUDED
18/10/20	3	REVISIONS CLOUDED
09/12/21	4	BALCONIES ALTERED, NOTE ADDED WHERE SHOWN
21/02/22	5	VCAT AMENDING PLANS

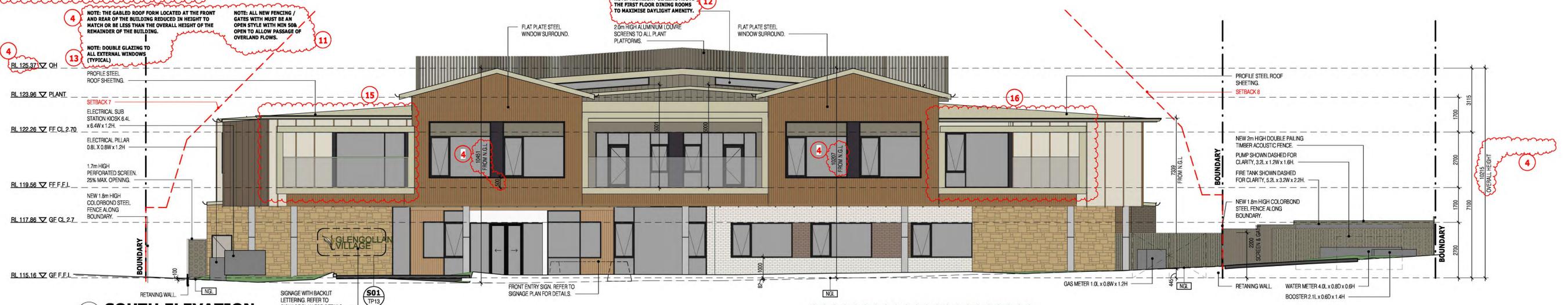
Phase	TOWN PLANNING
Project No.	19011

Client	GLENGOLLAN VILLAGE
Project	ST ELMO AVENUE GLENGOLLAN VILLAGE 2-8 St Elmo Ave, Ferntree Gully VIC 3156

Drawing Title		NORTH AND EAST ELEVATIONS	
Drawn	Scale 1:100 @ A1	dwg no.	TP07
Leader	Date 21/02/22	rev.	5



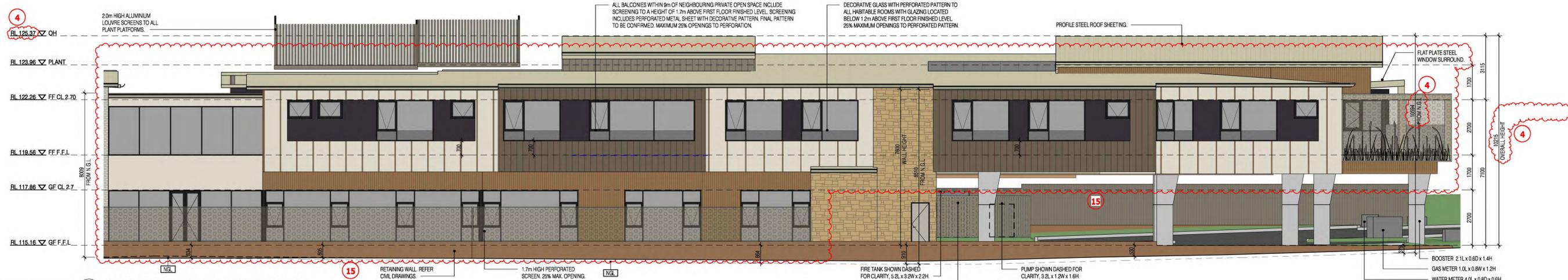
VCAT Amending Plans



E4 TPO8 SOUTH ELEVATION
SCALE 1:100



E5 TPO8 WEST ELEVATION PART 1
SCALE 1:100



E6 TPO8 WEST ELEVATION PART 2
SCALE 1:100

MATERIAL SCHEDULE

	MASONRY BRICKWORK COLOUR: TAN		MASONRY BRICKWORK COLOUR: SANDY BEIGE		MASONRY BRICKWORK COLOUR: BROWN		MASONRY BRICKWORK COLOUR: DARK BROWN		MASONRY BRICKWORK COLOUR: WHITE ONLY LOCATED AT FRONT ENTRY ENTRY IN CONSTANT SHADOW DUE TO 1ST FLOOR.		MASONRY BRICKWORK COLOUR: CREAM		STONE CLADDING COLOUR: MIX OF SANDY & BROWN COLOURS		PREFINISHED CEMENT SHEET CLADDING COLOUR: BROWN PREFINISHED TIMBER LOOK ALUMINIUM CLADDING COLOUR: TAN		PREFINISHED CEMENT SHEET CLADDING COLOUR: BLACK		PREFINISHED CEMENT SHEET CLADDING COLOUR: BEIGE		PREFINISHED CEMENT SHEET CLADDING COLOUR: BEIGE ALUMINIUM TIMBER LOOK BATTENS WHERE SHOWN COLOUR: BROWN		PROFILED STEEL CLADDING COLOUR: BROWN		ALUMINIUM FRAMING SYSTEM COLOUR: BLACK FRAME: DECORATIVE GLASS WITH PERFORATED PATTERN MAXIMUM TRANSPARENCY OF 25% UP TO 1.2m ABOVE F.F.L.		ALUMINIUM FRAMING SYSTEM COLOUR: BLACK FRAME: SPANDREL PANEL FIXED GLAZED PANEL AWNING PANEL		SCREENING COLOUR: BEIGE PERFORATED METAL SHEETING WITH DECORATIVE PATTERN, EQUIVALENT TO PIC PERF. FINAL PATTERN TO BE CONFIRMED. MAXIMUM 25% OPENINGS TO PERFORATIONS. 1.7m HIGH FROM F.F.L.		PERFORATED SCREEN COLOUR: BEIGE ALUMINIUM BATTENS WITH PERFORATED METAL SHEET BACKING TO SERVICE YARD FENCE & GATES. TIMBER LOOK.
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DRAWING LEGEND & TYPICAL NOTES

	DOOR NUMBER - REFER TO DOOR SCHEDULE		SECTION VIEW NUMBER SECTION MARKER SHEET REFERENCE NUMBER		SPOT LEVEL
	WINDOW NUMBER - REFER TO WINDOW SCHEDULE		LEVEL LEVEL MARKER LEVEL NAME		CHECK ON SITE & REPORT ANY DISCREPANCY
	WALL TYPE - REFER TO WALL TYPE SCHEDULE		VERTICAL SPOT LEVEL		MATERIAL TAG
	PRECAST PANEL NUMBER				

Client
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Project Manager

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Telephone +61 3 5222 6228
bhageo@bhauc.com.au

DATE	REV.	ACTIVITY
05/05/20	0	FINAL TOWN PLANNING ISSUE
19/09/20	1	REVISIONS CLOUDED
14/09/20	2	REVISIONS CLOUDED
18/10/20	3	REVISIONS CLOUDED
09/12/21	4	FACADE ALTERED TO MATCH FLOOR PLAN, BALCONIES ALTERED/REMOVED, WALL CLADDINGS UPDATED, HIGH LEVEL WINDOWS ADDED. NOTE ADDED
21/02/22	5	VCAT AMENDING PLANS

Phase TOWN PLANNING	Client GLENGOLLAN VILLAGE
Project No. 19011	Project ST ELMO AVENUE GLENGOLLAN VILLAGE 2-8 St Elmo Ave, Ferntree Gully VIC 3156

Drawing Title SOUTH AND WEST ELEVATIONS	Drawn [Signature]	Scale 1:100 @ A1	dwg no. TP08	rev. 5
Date 21/02/22	Leader [Signature]			

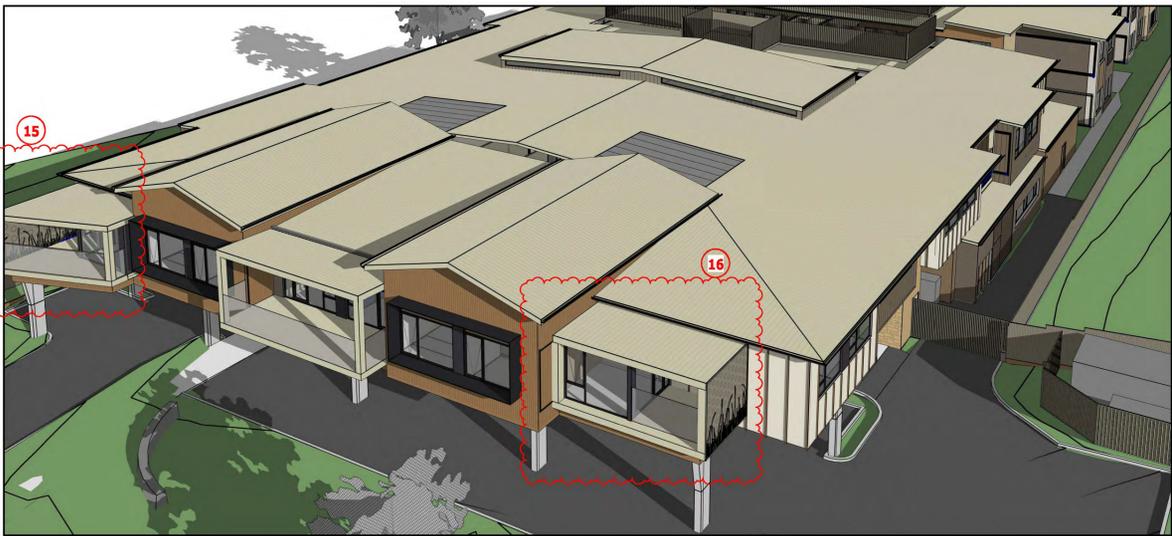
4 NOTE: THE GABLED ROOF FORM LOCATED AT THE FRONT AND REAR OF THE BUILDING REDUCED IN HEIGHT TO MATCH OR BE LESS THAN THE OVERALL HEIGHT OF THE REMAINDER OF THE BUILDING.

11 NOTE: ALL NEW FENCING / GATES WITH MUST BE AN OPEN STYLE WITH MIN 500 OPEN TO ALLOW PASSAGE OF OVERLAND FLOWS.

13 NOTE: DOUBLE GLAZING TO ALL EXTERIOR WINDOWS (TYPICAL)



3D PERSPECTIVE 01



3D PERSPECTIVE 02

Note: Building Setout to be carried out by a Licensed Surveyor. All dimensions to be verified prior to the order and/or placement of materials, or commencement of shop drawings. Any discrepancies to be referred to the Superintendent in writing.



3D PERSPECTIVE 03



3D PERSPECTIVE 4
KEY PLAN
SCALE 1:500

3D PERSPECTIVE 5

3D PERSPECTIVE 3

3D PERSPECTIVE 1 & 2

4 NOTE: THE GABLED ROOF FORM LOCATED AT THE FRONT AND REAR OF THE BUILDING REDUCED IN HEIGHT TO MATCH OR BE LESS THAN THE OVERALL HEIGHT OF THE REMAINDER OF THE BUILDING.

11 NOTE: ALL NEW FENCING / GATES WITH MUST BE AN OPEN STYLE WITH MIN 500 OPEN TO ALLOW PASSAGE OF OVERLAND FLOWS.

13 NOTE: DOUBLE GLAZING TO ALL EXTERIOR WINDOWS (TYPICAL)



3D PERSPECTIVE 04



3D PERSPECTIVE 05

Client GLENGOLLAN VILLAGE	Project Manager connect	Architect BHA Baade Harbour Australia Pty. Ltd. Geelong 63a Little Malop Street, Geelong, Victoria 3220 Australia Telephone +61 3 5222 6228 bhagee@bhaus.com.au	<table border="1"> <thead> <tr> <th>DATE</th> <th>REV.</th> <th>ACTIVITY</th> </tr> </thead> <tbody> <tr> <td>05/05/20</td> <td>0</td> <td>FINAL TOWN PLANNING ISSUE</td> </tr> <tr> <td>19/02/20</td> <td>1</td> <td>REVISIONS CLOUDED</td> </tr> <tr> <td>18/10/20</td> <td>2</td> <td>REVISIONS CLOUDED</td> </tr> <tr> <td>9/12/21</td> <td>3</td> <td>PERSPECTIVES UPDATED TO MATCH PLANS AND ELEVATIONS, NOTE ADDED</td> </tr> <tr> <td>21/02/22</td> <td>4</td> <td>VCAT AMENDING PLANS</td> </tr> </tbody> </table>	DATE	REV.	ACTIVITY	05/05/20	0	FINAL TOWN PLANNING ISSUE	19/02/20	1	REVISIONS CLOUDED	18/10/20	2	REVISIONS CLOUDED	9/12/21	3	PERSPECTIVES UPDATED TO MATCH PLANS AND ELEVATIONS, NOTE ADDED	21/02/22	4	VCAT AMENDING PLANS	Phase TOWN PLANNING	Client GLENGOLLAN VILLAGE	Drawing Title 3D PERSPECTIVES
DATE	REV.	ACTIVITY																						
05/05/20	0	FINAL TOWN PLANNING ISSUE																						
19/02/20	1	REVISIONS CLOUDED																						
18/10/20	2	REVISIONS CLOUDED																						
9/12/21	3	PERSPECTIVES UPDATED TO MATCH PLANS AND ELEVATIONS, NOTE ADDED																						
21/02/22	4	VCAT AMENDING PLANS																						
				Project No. 19011	Project ST ELMO AVENUE GLENGOLLAN VILLAGE 2-8 St Elmo Ave, Ferntree Gully VIC 3156	Drawn Leader	Scale 1:500 @ A1	dwg no. TP09	rev. 4															

Note:
Building Setout to be carried out by a Licensed Surveyor. All dimensions to be verified prior to the order and/or placement of materials, or commencement of shop drawings. Any discrepancies to be referred to the Superintendent in writing.

POLYCARBONATE LINING TO LIGHT SHAFT WITH ARTIFICIAL FEATURE LIGHTING BEHIND



LINEAR FEATURE LIGHTS



NOTE: LIGHT COLOURS GENERALLY SELECTED AROUND FRONT ENTRY DUE TO AREA BEING PREDOMINANTLY UNDER COVER & IN SHADOW.

ALUMINIUM TIMBER LOOK BATTENS



LIGHT SHAFT WITH POLYCARBONATE ROOF SHEETING OVER.

HIGH GLOSS FINISH TO ALL SOFFIT LININGS.

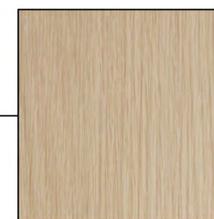


SIGNAGE WITH BACKLIGHT LETTERING.

REFER TO LANDSCAPE PLAN FOR ALL LANDSCAPE DETAILS.



3D PERSPECTIVE 06



DRAWING LEGEND & TYPICAL NOTES

- DOOR NUMBER - REFER TO DOOR SCHEDULE
- WINDOW NUMBER - REFER TO WINDOW SCHEDULE
- WALL TYPE - REFER TO WALL TYPE SCHEDULE
- PRECAST PANEL NUMBER
- SECTION VIEW NUMBER
SECTION MARKER
SHEET REFERENCE NUMBER
- FINISHED FLOOR LEVEL
- STRUCTURAL FLOOR LEVEL
- SPOT LEVEL
- NUMBER OF CURRENT REVISION
- BUILDING/CARPARK SETOUT POINT
- SLAB SETDOWNS
- CHECK ON SITE & REPORT ANY DISCREPANCY
- MATERIAL TAG



<p>Client</p>	<p>Project Manager</p>	<p>Architect</p> <p>Baade Harbour Australia Pty. Ltd. Geelong 63a Little Malop Street, Geelong, Victoria 3220 Australia Telephone +61 3 5222 6228 bhagee@bhausa.com.au</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>REV.</th> <th>ACTIVITY</th> </tr> </thead> <tbody> <tr> <td>06/05/20</td> <td>0</td> <td>FINAL TOWN PLANNING ISSUE</td> </tr> <tr> <td>09/12/21</td> <td>1</td> <td>NOTE ADDED</td> </tr> <tr> <td>21/02/22</td> <td>2</td> <td>VCAT AMENDING PLANS</td> </tr> </tbody> </table>	DATE	REV.	ACTIVITY	06/05/20	0	FINAL TOWN PLANNING ISSUE	09/12/21	1	NOTE ADDED	21/02/22	2	VCAT AMENDING PLANS	<p>Phase</p> <p>TOWN PLANNING</p>	<p>Client</p> <p>GLENGOLLAN VILLAGE</p>	<p>Drawing Title</p> <p>3D PERSPECTIVES</p>
DATE	REV.	ACTIVITY																
06/05/20	0	FINAL TOWN PLANNING ISSUE																
09/12/21	1	NOTE ADDED																
21/02/22	2	VCAT AMENDING PLANS																
<p>Project No.</p> <p>19011</p>		<p>Project</p> <p>ST ELMO AVENUE GLENGOLLAN VILLAGE 2-8 St Elmo Ave, Ferntree Gully VIC 3156</p>		<p>Drawn</p> <p>Leader</p>	<p>Scale 1 : 100 @ A1</p> <p>Date 21/02/22</p>	<p>dwg no.</p> <p>TP10</p>	<p>rev.</p> <p>2</p>											

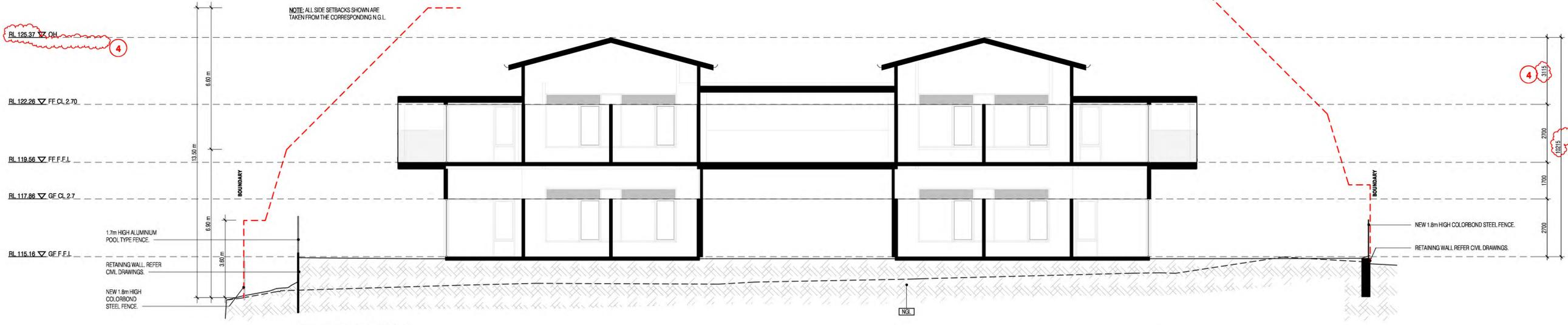
VCAT Amending Plans



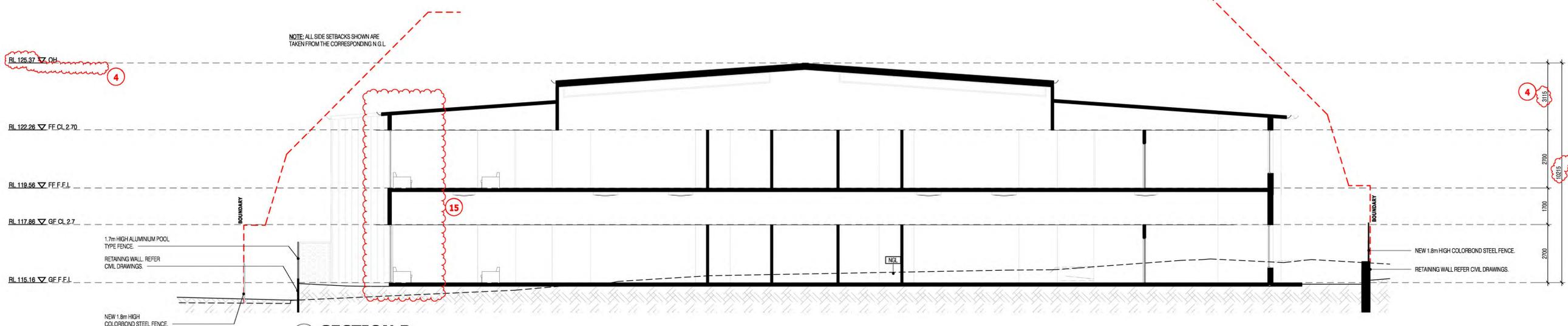
Note:
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ABBREVIATIONS LEGEND

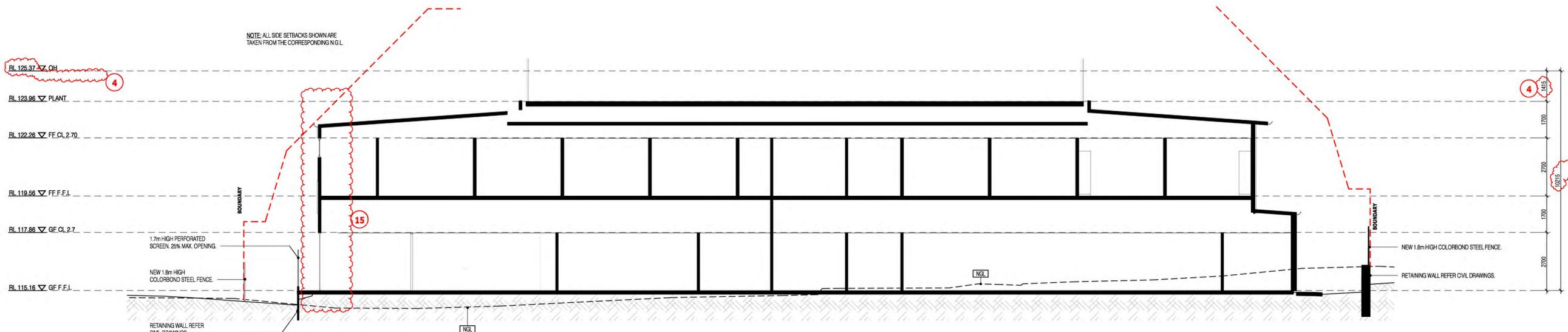
Mark	Description
NGL	NATURAL GROUND LINE



A SECTION A
SCALE 1:100



B SECTION B
SCALE 1:100



C SECTION C
SCALE 1:100

Client
GLENGOLLAN VILLAGE

Project Manager
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DATE	REV.	ACTIVITY
05/05/20	0	FINAL TOWN PLANNING ISSUE
19/06/20	1	REVISIONS CLOUDED
18/10/20	2	REVISIONS CLOUDED
9/12/21	3	SECTIONS UPDATED TO MATCH PLANS AND ELEVATIONS, NOTE ADDED
21/02/22	4	VCAT AMENDING PLANS

Phase
TOWN PLANNING

Project No.
19011

Client
GLENGOLLAN VILLAGE

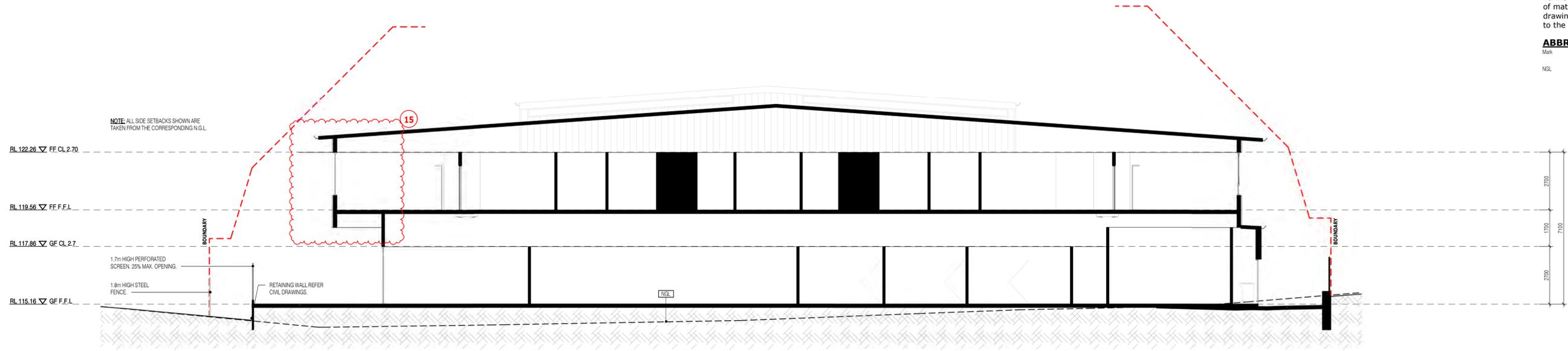
Project
ST ELMO AVENUE GLENGOLLAN VILLAGE
2-8 St Elmo Ave, Ferntree Gully VIC 3156

Drawing Title		Scale		dwg no.		rev.	
SECTIONS		1:100 @ A1		TP11		4	
Drawn	Scale	Date	21/02/22	Leader			

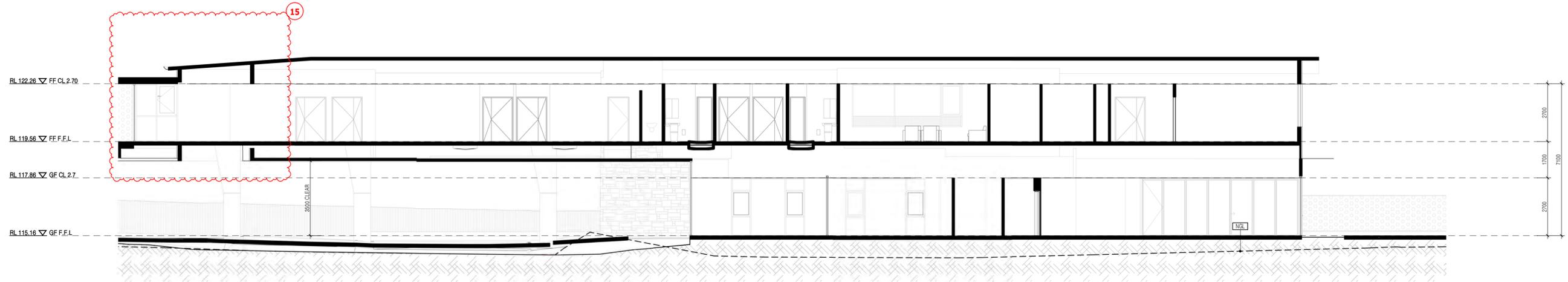
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ABBREVIATIONS LEGEND

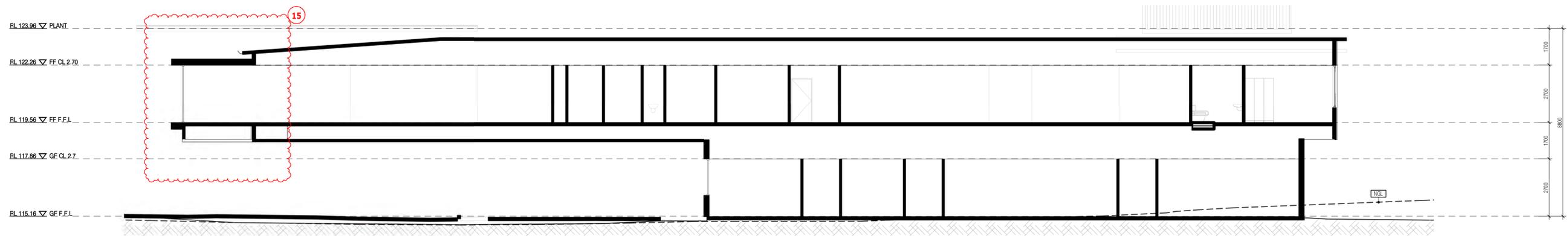
Mark	Description
NGL	NATURAL GROUND LINE



D SECTION D
SCALE 1 : 100



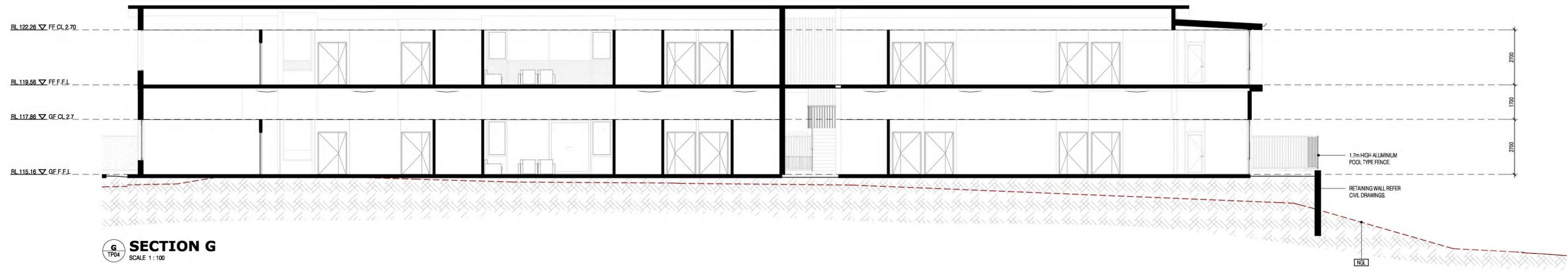
E SECTION E
SCALE 1 : 100



F SECTION F
SCALE 1 : 100

<p>Client</p>  <p>GLENGOLLAN VILLAGE</p>	<p>Project Manager</p>  <p>connect</p>	<p>Architect</p>  <p>BHA Baade Harbour Australia Pty. Ltd. Geelong 83a Little Malop Street, Geelong, Victoria 3220 Australia Telephone +61 3 5222 6228 bhagee@bhauc.com.au</p>	<table border="1"> <thead> <tr> <th>DATE</th> <th>REV.</th> <th>ACTIVITY</th> </tr> </thead> <tbody> <tr> <td>06/05/20</td> <td>0</td> <td>FINAL TOWN PLANNING ISSUE</td> </tr> <tr> <td>18/09/20</td> <td>1</td> <td>REVISIONS CLOUDED</td> </tr> <tr> <td>9/12/21</td> <td>2</td> <td>SECTIONS UPDATED TO MATCH PLANS AND ELEVATIONS. NOTE ADDED</td> </tr> <tr> <td>21/02/22</td> <td>3</td> <td>VCAT AMENDING PLANS</td> </tr> </tbody> </table>	DATE	REV.	ACTIVITY	06/05/20	0	FINAL TOWN PLANNING ISSUE	18/09/20	1	REVISIONS CLOUDED	9/12/21	2	SECTIONS UPDATED TO MATCH PLANS AND ELEVATIONS. NOTE ADDED	21/02/22	3	VCAT AMENDING PLANS	<p>Phase</p> <p>TOWN PLANNING</p> <p>Project No.</p> <p>19011</p>	<p>Client</p> <p>GLENGOLLAN VILLAGE</p> <p>Project</p> <p>ST ELMO AVENUE GLENGOLLAN VILLAGE 2-8 St Elmo Ave, Ferntree Gully VIC 3156</p>	<p>Drawing Title</p> <p>SECTIONS</p> <table border="1"> <tr> <td>Drawn MB</td> <td>Scale 1 : 100 @ A1</td> <td>dwg no.</td> <td>rev.</td> </tr> <tr> <td>Leader II</td> <td>Date 21/02/22</td> <td>TP12</td> <td>3</td> </tr> </table> <p><small>PRINT STAMP: 1/02/2022 12:27:10 PM Z:\BHA TEMP\Glenollan Village (19011)\REVIT\19011_GV_TP_RVT20_REV04.rvt</small></p>	Drawn MB	Scale 1 : 100 @ A1	dwg no.	rev.	Leader II	Date 21/02/22	TP12	3
DATE	REV.	ACTIVITY																											
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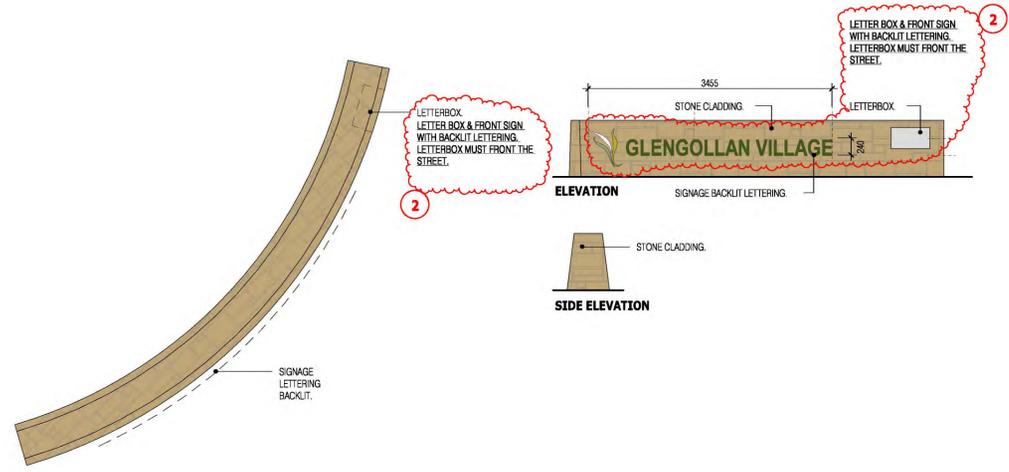
G SECTION G
SCALE 1:100



H SECTION H
SCALE 1:100



S01 BUILDING SIGNAGE
SCALE 1:50



S02 FRONT ENTRY SIGNAGE
SCALE 1:50

DRAWING LEGEND & TYPICAL NOTES

- DOOR NUMBER - REFER TO DOOR SCHEDULE
- WINDOW NUMBER - REFER TO WINDOW SCHEDULE
- WALL TYPE - REFER TO WALL TYPE SCHEDULE
- PRECAST PANEL NUMBER
- SECTION VIEW NUMBER SECTION MARKER SHEET REFERENCE NUMBER
- FINISHED FLOOR LEVEL
- STRUCTURAL FLOOR LEVEL
- SPOT LEVEL
- NUMBER OF CURRENT REVISION
- BUILDING/CARPARK SETOUT POINT
- SLAB SETDOWNS
- CHECK ON SITE & REPORT ANY DISCREPANCY
- MATERIAL TAG



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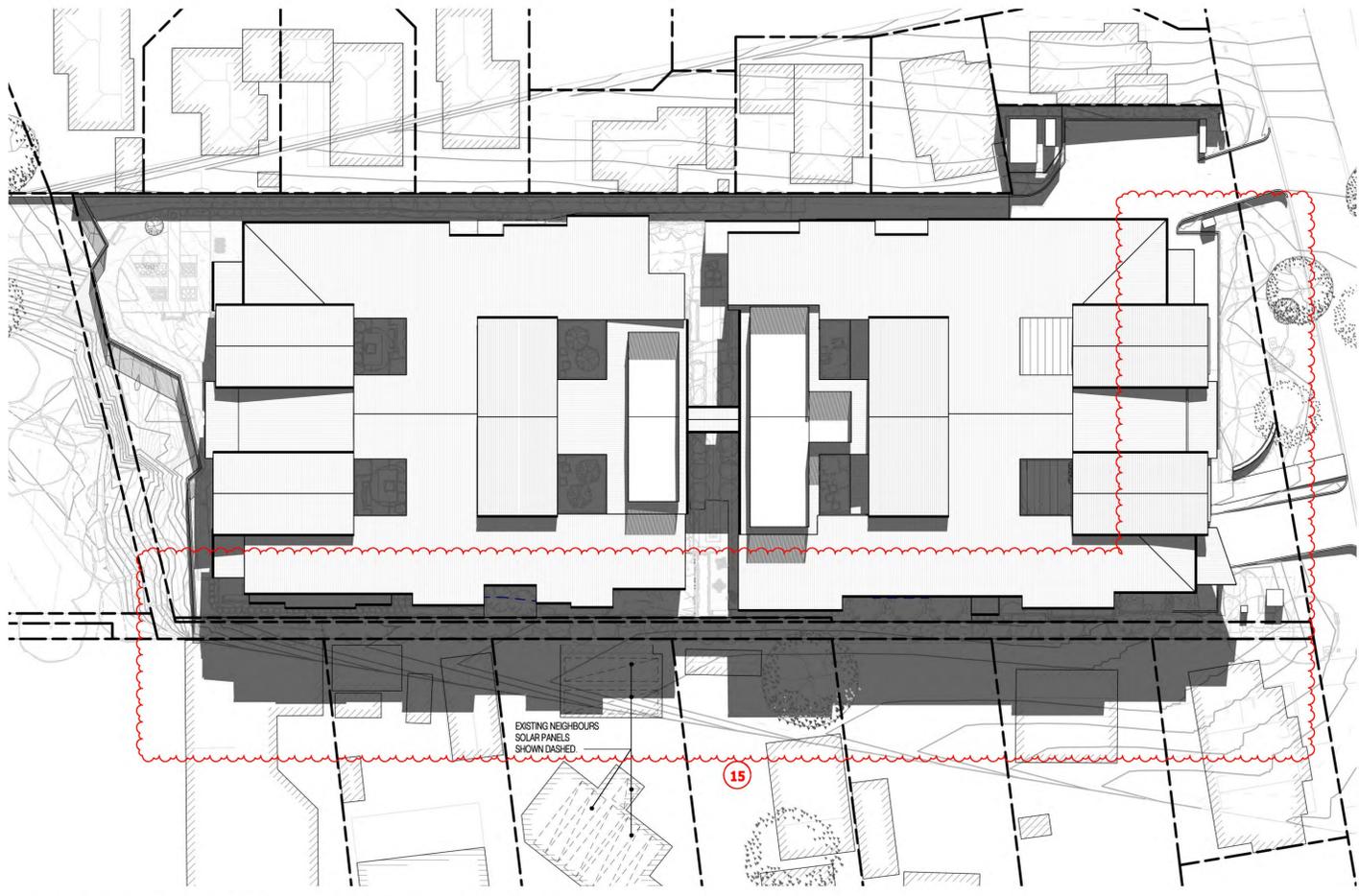
DATE	REV.	ACTIVITY
06/05/20	0	FINAL TOWN PLANNING ISSUE
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14/09/20	2	REVISIONS CLOUDED
18/10/20	3	REVISIONS CLOUDED
21/02/22	4	VCAT AMENDING PLANS

Phase TOWN PLANNING
Project No. 19011

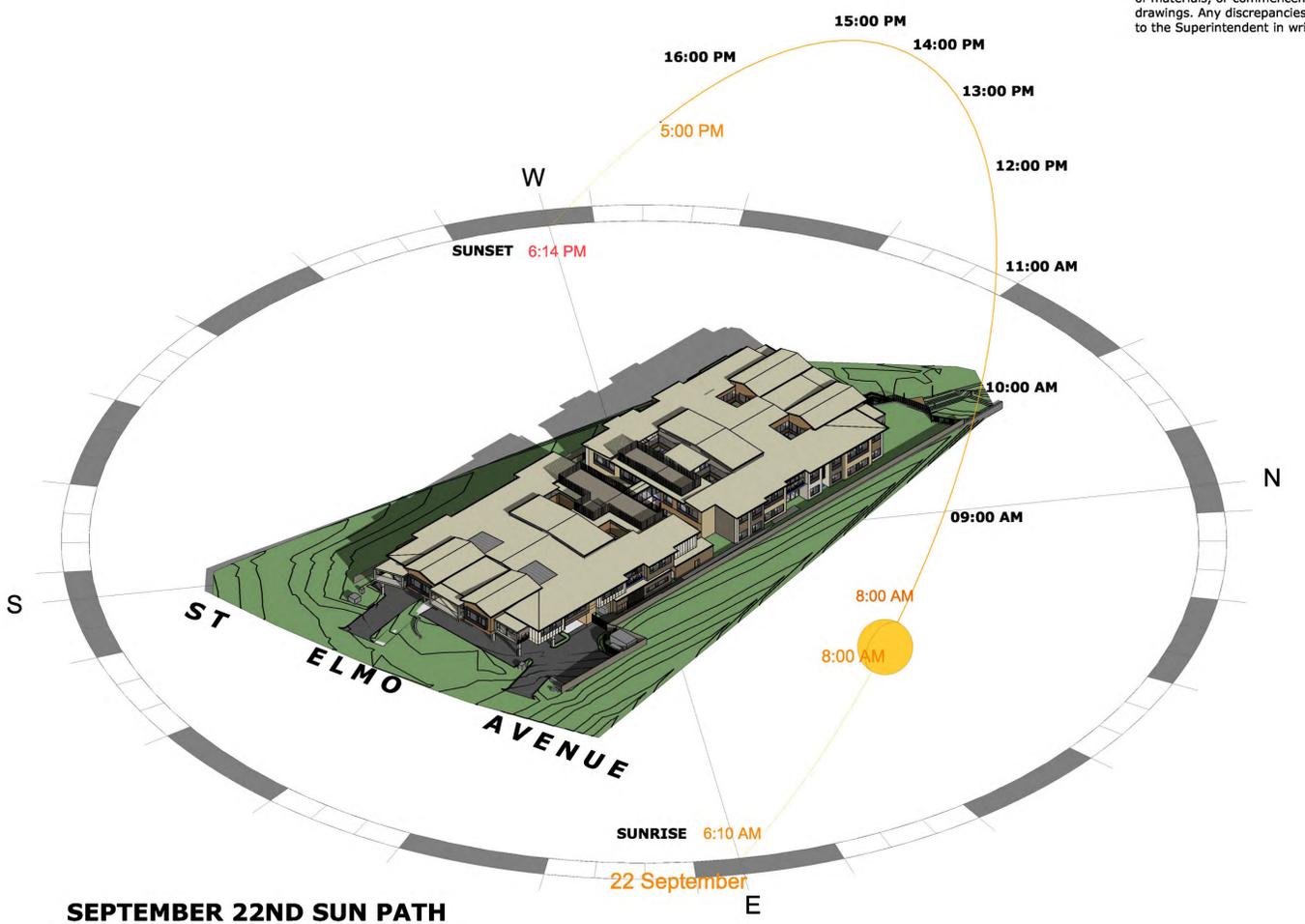
Client GLENOLLAN VILLAGE
Project ST ELMO AVENUE GLENOLLAN VILLAGE 2-8 St Elmo Ave, Ferntree Gully VIC 3156

Drawing Title SECTIONS	Scale As indicated @ A1	dwg no. TP13	rev. 4
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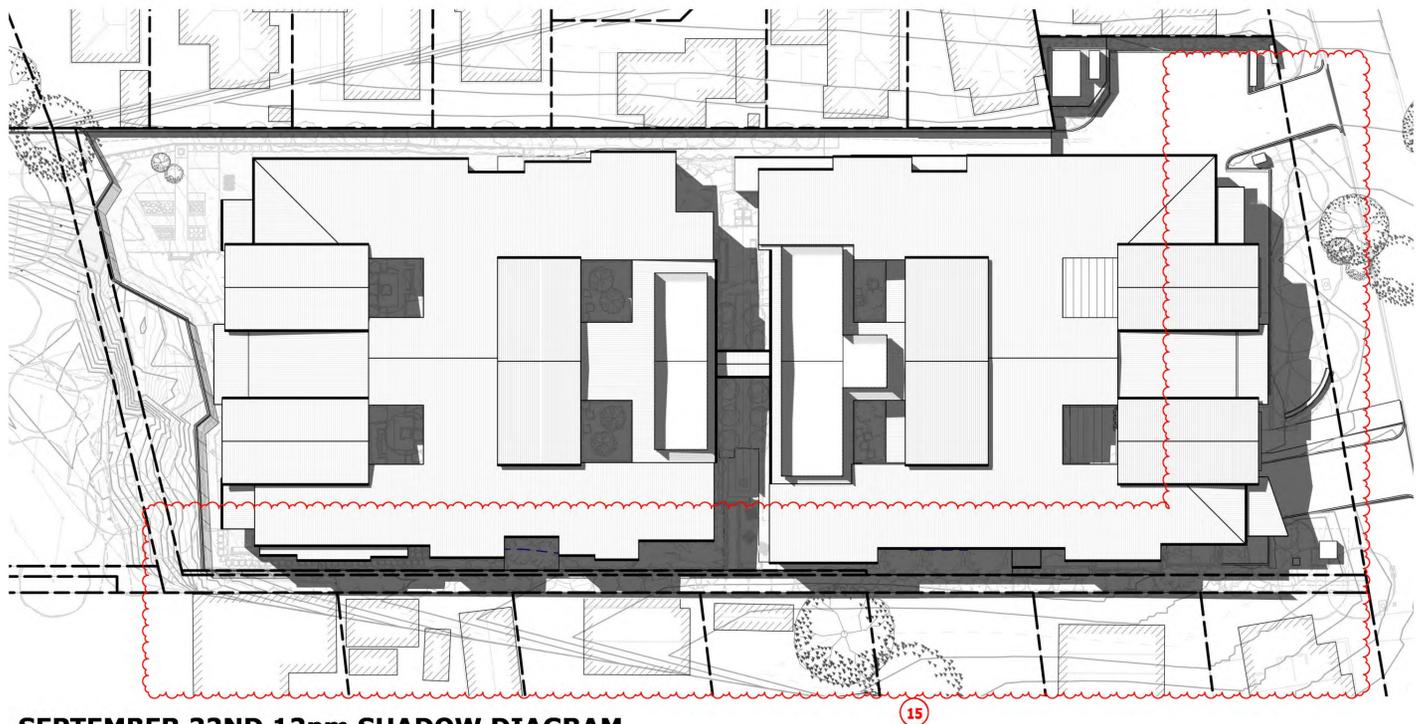
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SEPTEMBER 22ND 9am SHADOW DIAGRAM
SCALE 1 : 400



SEPTEMBER 22ND SUN PATH
SCALE



SEPTEMBER 22ND 12pm SHADOW DIAGRAM
SCALE 1 : 400



SEPTEMBER 22ND 3pm SHADOW DIAGRAM
SCALE 1 : 400



VCAT Amending Plans

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ST ELMO AVENUE GLENGOLLAN VILLAGE
2-8 St Elmo Ave, Ferntree Gully VIC 3156

Drawing Title		Scale		Drawing No.		Revision	
SHADOW DIAGRAMS - SEPTEMBER 22nd		1 : 400 @ A1		TP14		2	
Drawn	Leader	Date	21/02/22	Print Stamp	1/02/2022 12:27:51 PM	Z:\BHA TEMP\Glengollan Village (19011)\REVIT\19011_GV_TP_RVT20_REV04.rvt	